

# DEVELOPMENT APPLICATION LANDSCAPE DOCUMENTATION

971 RICHMOND RD, MARSDEN PARK

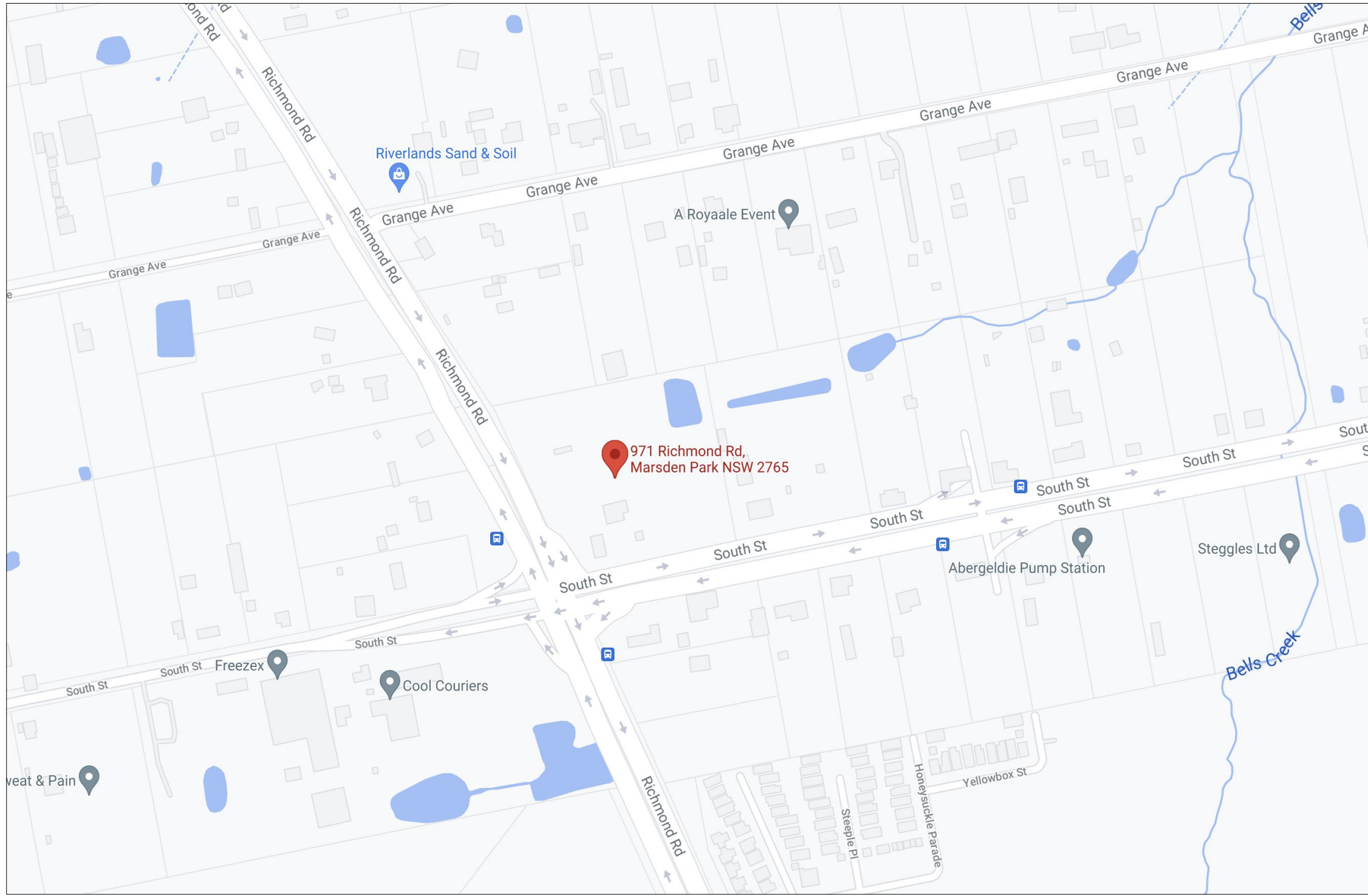
## DRAWING LIST

SHEET NO.	ISSUE	SHEET TITLE	DATE
L00	C	COVER SHEET	29/07/21
L01	C	LANDSCAPE SITE PLAN	29/07/21
L02	C	GROUND FLOOR / LEVEL 1 LANDSCAPE PLAN	29/07/21
L03	C	GROUND FLOOR / LEVEL 1 LANDSCAPE PLAN	29/07/21
L04	C	LEVEL 2 LANDSCAPE PLAN	29/07/21
L05	C	LEVEL 2 LANDSCAPE PLAN	29/07/21
L06	C	LEVEL 3 LANDSCAPE PLAN	29/07/21
L07	C	ROOF & LEVEL 8 LANDSCAPE PLAN	29/07/21
L08	C	PLANTING SCHEDULE	29/07/21
L09	C	PLAYGROUND	29/07/21
L10	C	STREET TREE LAYOUT PLAN	29/07/21
L11	C	STREET TREE DETAILS	29/07/21
L12	C	DETAILS & SPECIFICATION	29/07/21

SATELLITE VIEW



LOCATION MAP



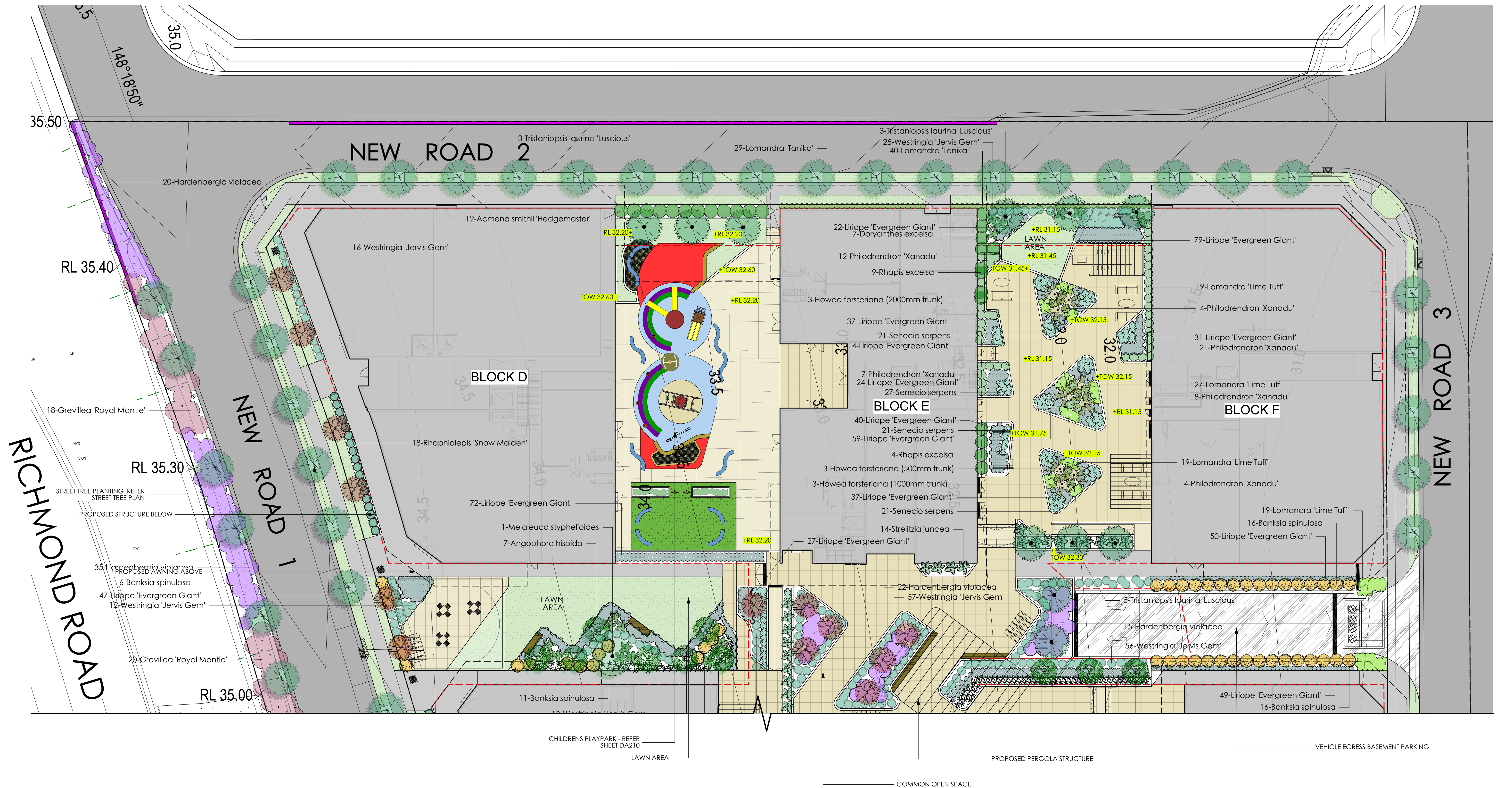
## AMENDMENTS FOR THE COURT

				Notes:	Legend:	Drawing: <b>COVER SHEET</b>	<div>A Total Concept Landscape Architects &amp; Swimming Pool Designers 65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@totalconcept.com.au www.atotalconcept.com.au</div> <div>atc a total concept landscape architects &amp; swimming pool designers</div>	<div>Status</div> <div>SCALE - NTS</div> <div>Drawn By   GC Dwg Date:   18.12.19</div> <div>Checked By   JS Plot Date:   2/8/21</div> <div>CAD File Name   MARSDEN PARK_ver0.vwx</div>	<div>Project No. <b>ATX</b></div> <div>Drawing No. Rev #</div> <div><b>L00 C</b></div> <div>OF 13</div>
C	29/7/21	Amendments for the Court	OC			Address: 971 Richmond Rd, Marsden Park			
B	27/3/20	Amendments to Playground	KR			Project: PROPOSED MIXED USE DEVELOPMENT			
A	19/3/20	Amendments to suit Architecturals	KR			Client: N.Patel - C/O: Architect			
No.	Date	REVISION	By						









**LEGEND:**

Driveway - Refer Arch details

Quality Unit Paving (Type 1)

Quality Unit Paving (Type 2)

Coloured Concrete

Bench Seating

Line of Batter, Refer to Civil Engineers drawings

Temporary retaining wall, Refer to Civil Engineers drawings

Masonry wall - refer Arch Detail

Maintained Turf

Proposed Street Tree as specified in accordance with Council's selected street tree species

Architecture Above

Existing Levels-Survey (grey)

Structure Below

Security Fencing

Cadastral Boundary

Existing Tree (Retained)

Existing Tree (Removed)

RL 10.23

Finished Ground Level

TOW 10.23

Proposed Top Of Wall Level

+ STL 10.99

Structural Slab Level

Surface Fall Direction

**Note:**  
REFER TO CIVIL DRAWINGS BY ORION CONSULTING  
REFER TO ARCHITECTURAL DRAWINGS BY ARCHITEX  
REFER TO STREET TREE SPECIFICATIONS BY BLACKTOWN COUNCIL

AMENDMENTS FOR THE COURT

Project No.

ATX

Drawing No.

L02 C

Rev #

OF 13

Status

SCALE - 1:200 @ A1

Drawn By

GC

Checked By

SW

CAD File Name

MARSDEN PARK\_ver0.vwx

Dwg Date

09.04.18

Plot Date

09.04.18

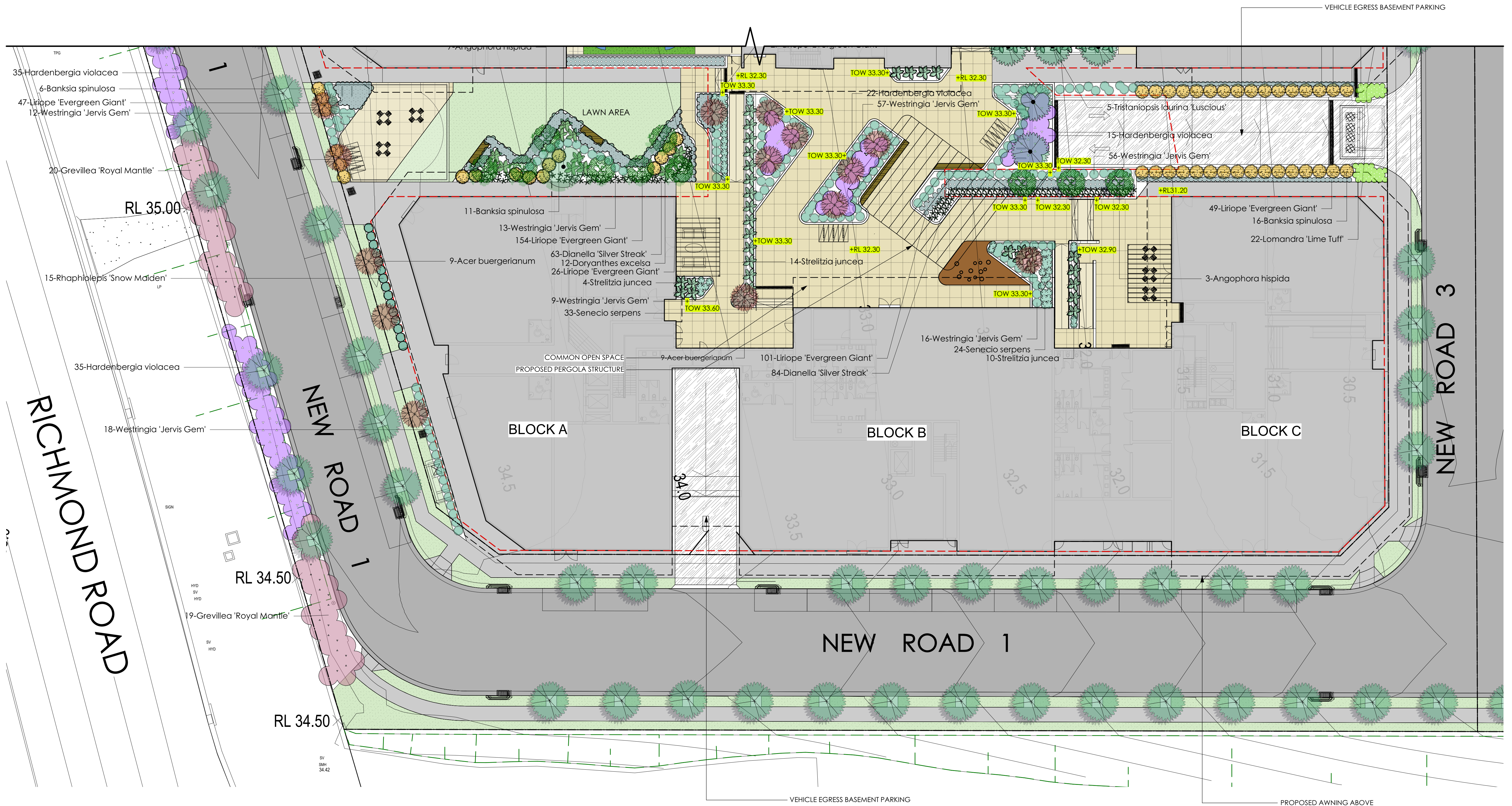
a total concept

landscape architects & swimming pool designers

A Total Concept Landscape Architects & Swimming Pool Designers  
65 West Street, North Sydney NSW 2060  
T: (02) 9957 5122 E: design@atotalconcept.com.au  
www.atotalconcept.com.au

Drawing: GROUND FLOOR / LEVEL 1 LANDSCAPE PLAN			Address: 971 Richmond Rd, Marsden Park		
Project: PROPOSED MIXED USE DEVELOPMENT			Client: N.Patel - C/O: Architect		
Notes:			Legend:		
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.					
2. Do not scale from drawings.					
3. If in doubt contact Landscape Architect.					
4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.					
5. This plan has been prepared for Development Application purposes only.					
6. All Building Works shall be installed to Structural Engineers detail					
No.	Date	REVISION	By		
C	29/7/21	Amendments for the Court	OC		
B	27/3/20	Amendments to Playground	KR		
A	19/3/20	Amendments to suit Architecturals	KR		





**LEGEND:**

Driveway - Refer Arch details

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Existing Tree (Removed)

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Structural Slab Level

Surface Fall Direction

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REFER TO CIVIL DRAWINGS BY ORION CONSULTING

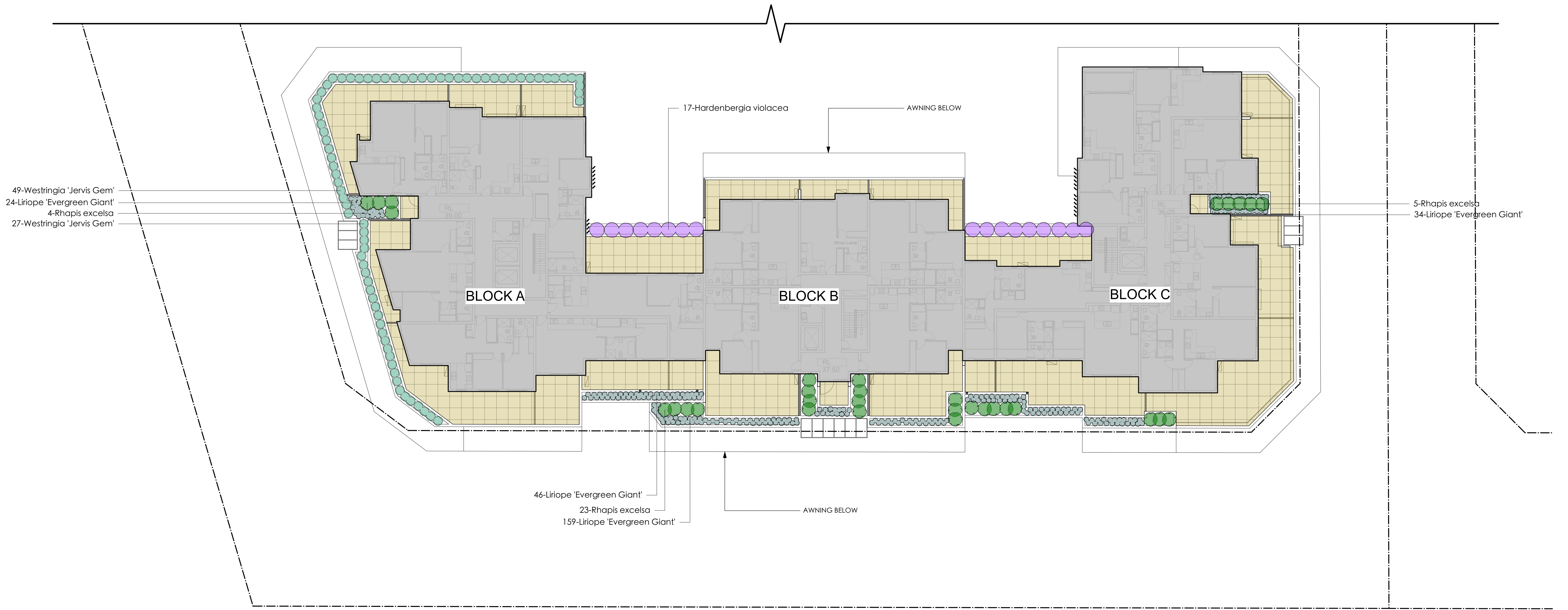
REFER TO ARCHITECTURAL DRAWINGS BY ARCHITEX

REFER TO STREET TREE SPECIFICATIONS BY BLACKTOWN COUNCIL

AMENDMENTS FOR THE COURT

				<div>Notes:</div> <div>1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.</div> <div>2. Do not scale from drawings.</div> <div>3. If in doubt contact Landscape Architect.</div> <div>4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.</div> <div>5. This plan has been prepared for Development Application purposes only.</div> <div>6. All Building Works shall be installed to Structural Engineers detail.</div>	<div>Legend:</div>	<div>Drawing:</div> <div>GROUND FLOOR / LEVEL 1 LANDSCAPE PLAN</div>	<div>Address:</div> <div>971 Richmond Rd, Marsden Park</div>	<div>Project:</div> <div>PROPOSED MIXED USE DEVELOPMENT</div>	<div>Client:</div> <div>N.Patel - C/O: Architect</div>	<div>A Total Concept Landscape Architects &amp; Swimming Pool Designers</div> <div>65 West Street, North Sydney NSW 2060</div> <div>T: (02) 9957 5122 E: design@totalconcept.com.au</div> <div>www.totalconcept.com.au</div>	<div>Status</div> <div>SCALE - 1:200 @ A1</div> <div><div>Drawn By</div><div>GC</div><div>Dwg Date:</div><div>09.04.18</div></div> <div><div>Checked By</div><div>SW</div><div>Plot Date:</div><div>09.04.18</div></div> <div><div>CAD File Name</div><div>MARSDEN PARK_v01.dwg</div></div>	<div>Project No.</div> <div>ATX</div> <div><div>Drawing No.</div><div>Rev #</div><div>L03 C</div><div>OF 13</div></div>
C	29/7/21	Amendments for the Court	QC									
B	27/3/20	Amendments to Playground	KR									
A	19/3/20	Amendments to suit Architectural	KR									
No.	Date	REVISION	By									





LEGEND:

- Driveway - Refer Arch details

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Quality Unit Paving (Type 2)

Coloured Concrete

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Line of Batter. Refer to Civil Engineers drawings
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Cadastral Boundary

Existing Tree (Retained)

Existing Tree (Removed)
- RL 10.23** Finished Ground Level

**STOW 10.23** Proposed Top Of Wall Level

+ STL 10.99 Structural Slab Level

Surface Fall Direction

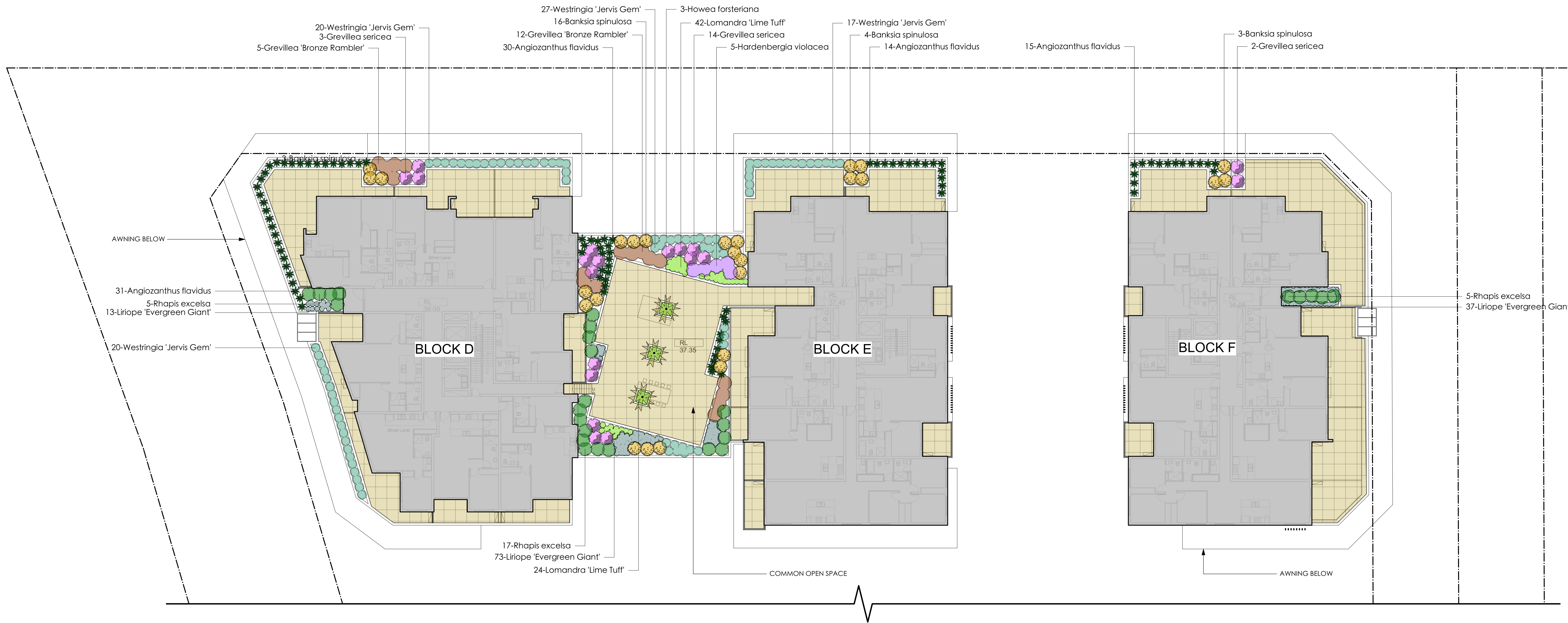
Bike stand. Refer to Architects drawings

Note:  
REFER TO CIVIL DRAWINGS BY ORION CONSULTING  
REFER TO ARCHITECTURAL DRAWINGS BY ARCHITEX  
REFER TO STREET TREE SPECIFICATIONS BY BLACKTOWN COUNCIL

AMENDMENTS FOR THE COURT

				Notes:		Legend:		Drawing: LEVEL 2 LANDSCAPE PLAN		A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@atotalconcept.com.au www.atotalconcept.com.au		Status		Project No. ATX	
				1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work				Address: 971 Richmond Rd, Marsden Park				SCALE - 1:200 @ A1		Drawing No. Rev #	
				2. Do not scale from drawings.				Project: PROPOSED MIXED USE DEVELOPMENT				Drawn By   GC Dwg Date: 09.04.18		L04 C	
				3. If in doubt contact Landscape Architect.				Client: N.Patel - C/O: Architext				Checked By   SW Plot Date: 09.04.18		OF 13	
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				5. This plan has been prepared for Development Application purposes only.											
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C	29/7/21	Amendments for the Court	OC												
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A	19/3/20	Amendments to suit Architecturals	KR												
No.	Date	REVISION	By												







**LEGEND:**

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- Temporary retaining wall, Refer to Civil Engineers drawings
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- Bike stand, Refer to Architects drawings

**Note:**  
REFER TO CIVIL DRAWINGS BY ORION CONSULTING  
REFER TO ARCHITECTURAL DRAWINGS BY ARCHITEX  
REFER TO STREET TREE SPECIFICATIONS BY BLACKTOWN COUNCIL

## AMENDMENTS FOR THE COURT

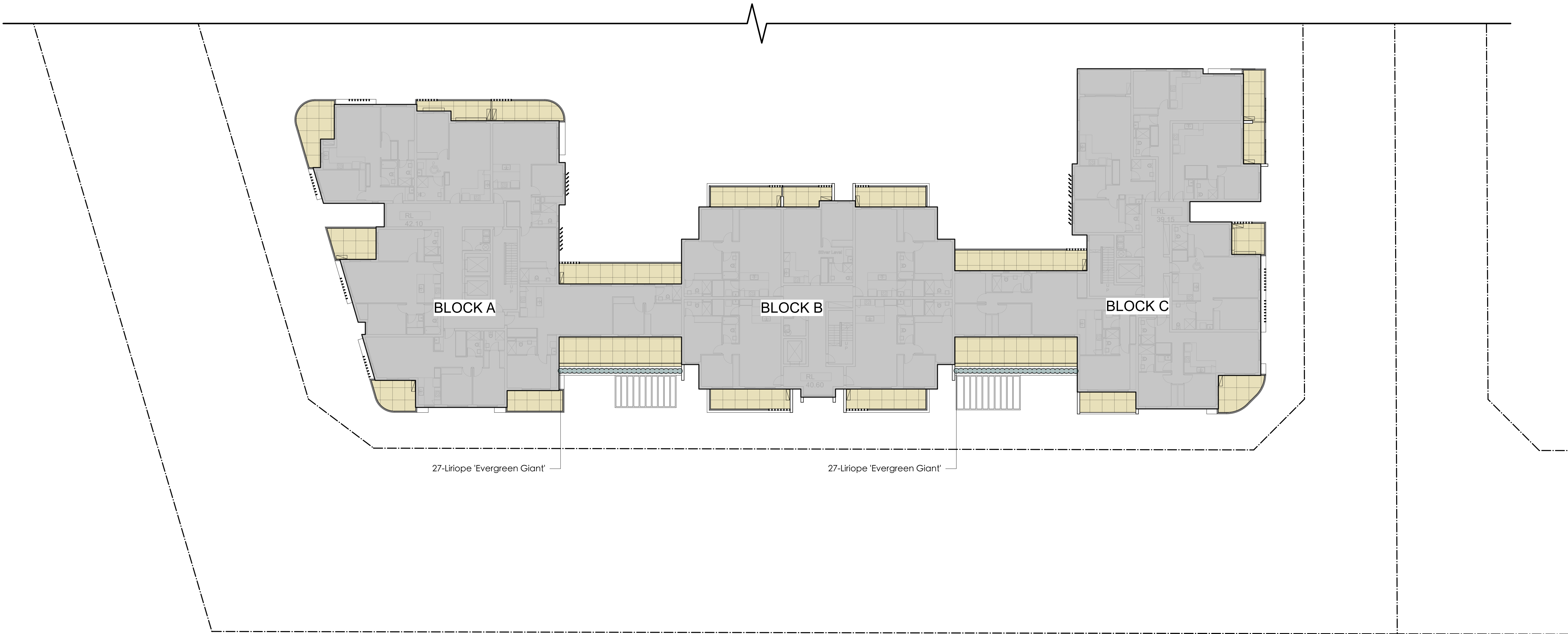
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						<div>Address:</div> <div>971 Richmond Rd, Marsden Park</div>	<div>A Total Concept Landscape Architects &amp; Swimming Pool Designers</div> <div>65 West Street, North Sydney NSW 2060</div> <div>T: (02) 9957 5122 E: design@atotalconcept.com.au</div> <div>www.atotalconcept.com.au</div>	<div>SCALE - 1:200 @ A1</div> <div></div>	
						<div>Project:</div> <div>PROPOSED MIXED USE DEVELOPMENT</div>		<div>Drawn By</div> <div>GC</div> <div>Dwg Date:</div> <div>09.04.18</div>	<div>Drawing No.</div> <div>Rev #</div> <div>L05 C</div>
						<div>Client:</div> <div>N.Patel - C/O: Architect</div>	<div></div> <div>a total concept</div> <div>landscape architects &amp; swimming pool designers</div>	<div>Checked By</div> <div>SW</div> <div>Plot Date:</div> <div>09.04.18</div>	
C	29/7/21	Amendments for the Court	OC					<div>CAD File Name</div> <div>MARSDEN PARK_ver0.vwx</div>	
B	27/3/20	Amendments to Playground	KR						
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No.	Date	REVISION	By						OF 13

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**Legend:**





LEGEND:

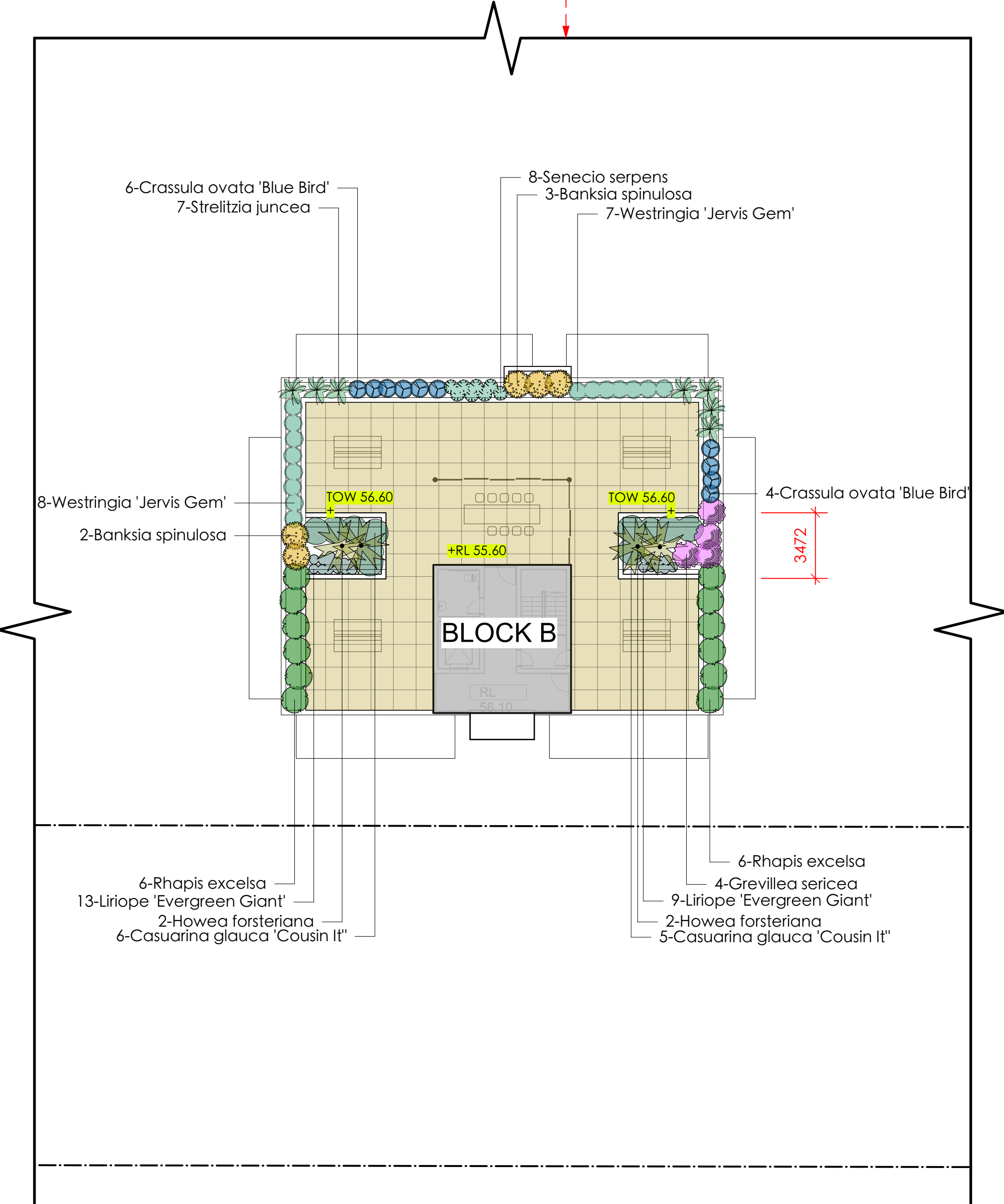
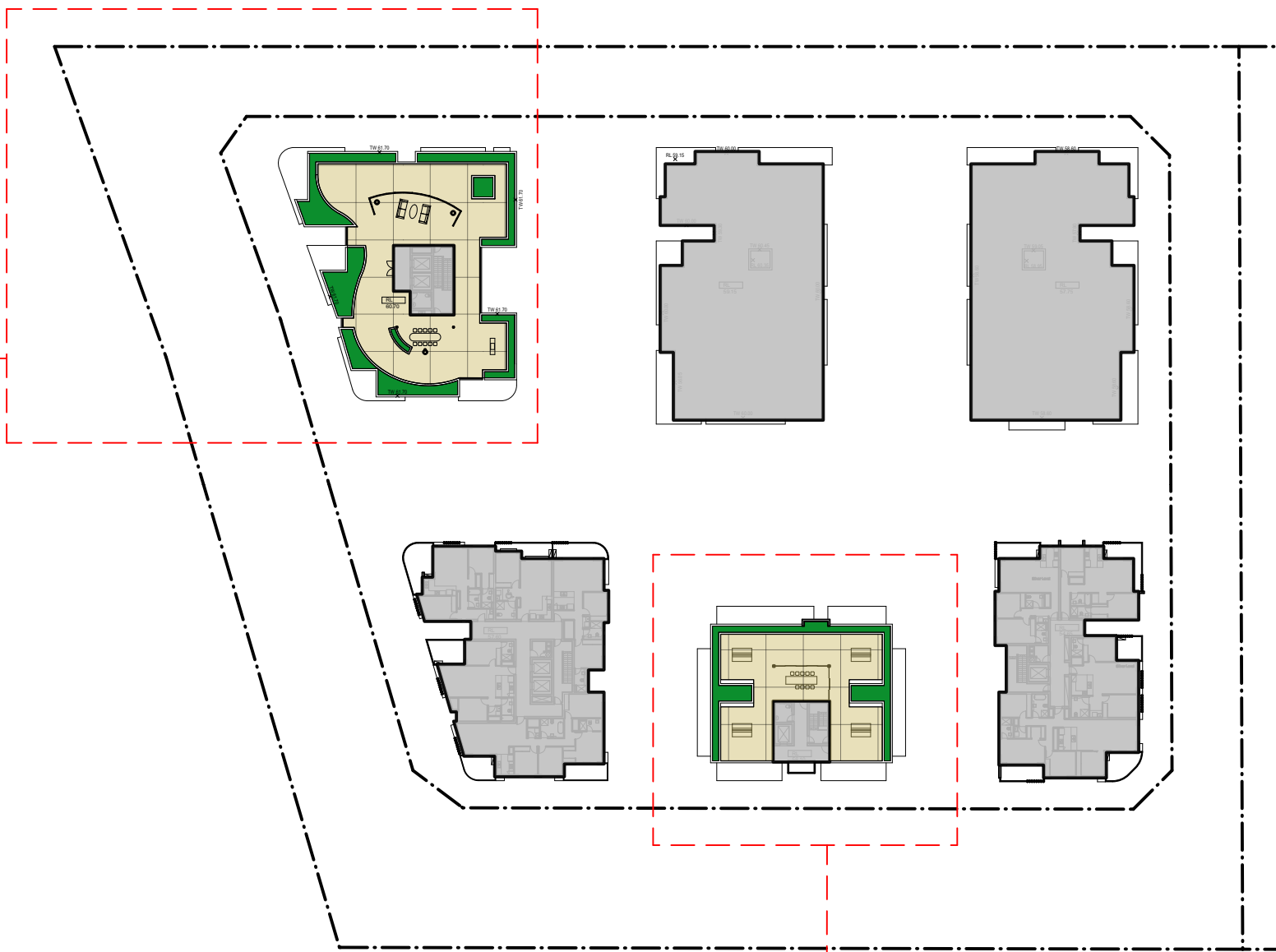
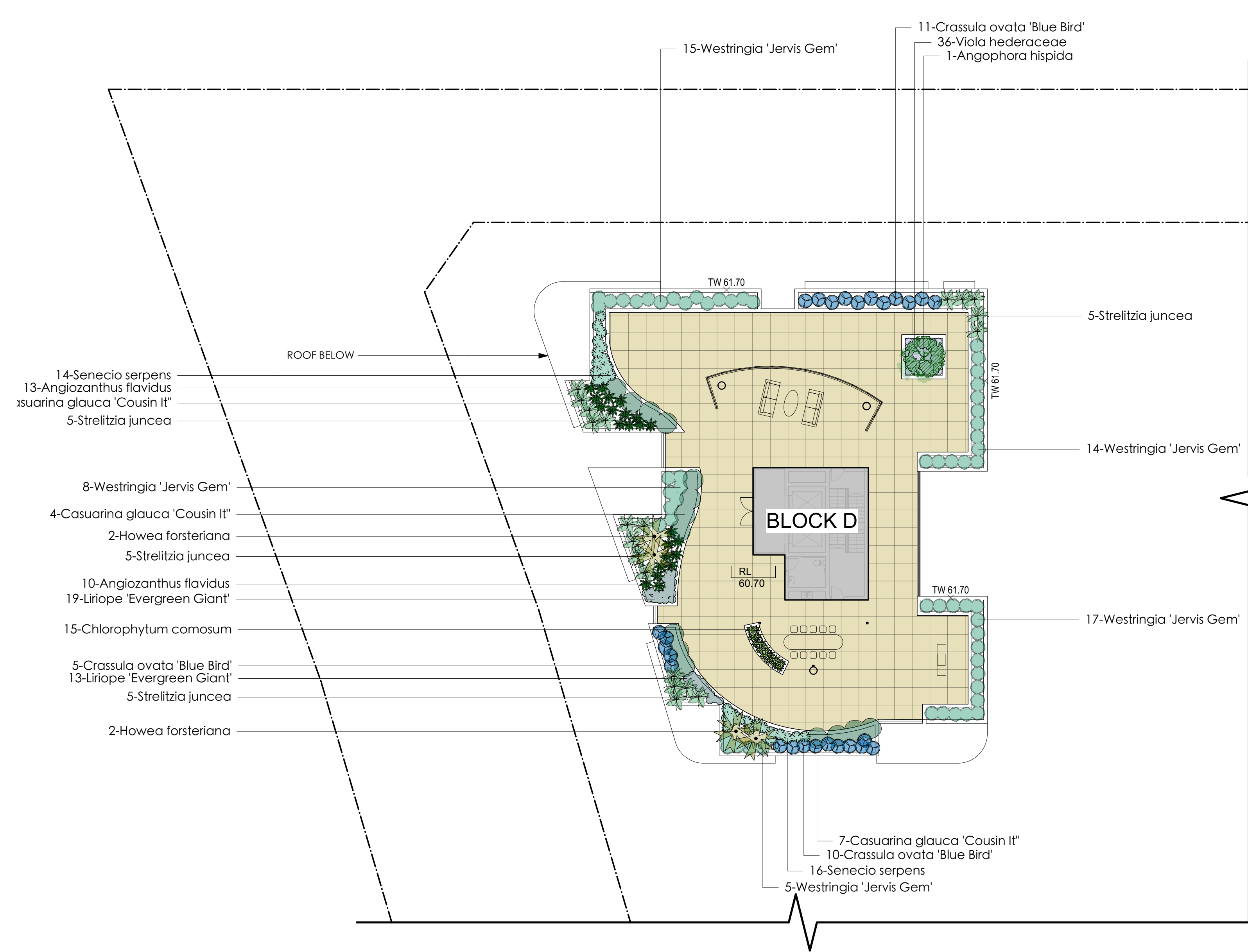
- Driveway - Refer Arch details
- Quality Unit Paving (Type 1)
- Quality Unit Paving (Type 2)
- Coloured Concrete
- Bench Seating
- Line of Batter. Refer to Civil Engineers drawings
- Temporary retaining wall. Refer to Civil Engineers drawings
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- RL 10.23 Finished Ground Level
- STOW 10.23 Proposed Top Of Wall Level
- + STL 10.99 Structural Slab Level
- Surface Fall Direction
- Bike stand. Refer to Architects drawings

Note:  
REFER TO CIVIL DRAWINGS BY ORION CONSULTING  
REFER TO ARCHITECTURAL DRAWINGS BY ARCHITEX  
REFER TO STREET TREE SPECIFICATIONS BY BLACKTOWN COUNCIL

AMENDMENTS FOR THE COURT

		Notes:		Legend:		Drawing: LEVEL 3 LANDSCAPE PLAN		Project No.	
		1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work				Address: 971 Richmond Rd, Marsden Park		ATX	
		2. Do not scale from drawings.				Project: PROPOSED MIXED USE DEVELOPMENT		SCALE - 1:200 @ A1	
		3. If in doubt contact Landscape Architect.				Client: N.Patel - C/O: Architext		Drawing No. Rev #	
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		5. This plan has been prepared for Development Application purposes only.						OF 13	
		6. All Building Works shall be installed to Structural Engineers detail							
No.	Date	REVISION		By					





**LEGEND:**

Driveway - Refer Arch details

Quality Unit Paving (Type 1)

Quality Unit Paving (Type 2)

Coloured Concrete

Bench Seating

Line of Batter, Refer to Civil Engineers drawings

Temporary retaining wall, Refer to Civil Engineers drawings

Masonry wall - refer Arch Detail

Maintained Turf

Proposed Street Tree as specified in accordance with Council's selected street tree species

Architecture Above

Existing Levels-Survey (grey)

Structure Below

Security Fencing

Cadastral Boundary

Existing Tree (Retained)

Existing Tree (Removed)

+RL 10.23 Finished Ground Level

+TOW 10.23 Proposed Top Of Wall Level

+SSL 10.99 Structural Slab Level

Surface Fall Direction

Bike stand, Refer to Architects drawings

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REFER TO STREET TREE SPECIFICATIONS BY BLACKTOWN COUNCIL

AMENDMENTS FOR THE COURT

Drawing: ROOF & LEVEL 8 LANDSCAPE PLAN

Address: 971 Richmond Rd, Marsden Park

Project: PROPOSED MIXED USE DEVELOPMENT

Client: N.Patel - C/O: Architect

A Total Concept Landscape Architects  
& Swimming Pool Designers  
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atc  
a total concept  
landscape architects & swimming pool designers

Status

SCALE - 1:200 @ A1

Drawn By	GC	Dwg Date	09.04.18
Checked By	SW	Plot Date	09.04.18
CAD File Name	MARSDEN PARK_ver0.vwx		



Project No.

ATX

Drawing No. Rev #

L07

OF 13

Notes:

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Legend:



PLANTING SCHEDULE (ENTIRE SITE)

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Acer buergerianum	Japanese Maple	27	75lt	3000	5500
Acmena smithii 'Hedgemaster'	Lillypilly	24	300mm	1500	2000
Angiozanthus flavidus	Kangaroo paw	113	150mm	1000	1000
Banksia spinulosa	Dwarf Apple	21	75lt	3000	5000
Banksia spinulosa	Hairpin Banksia	129	300mm	1500	2000
Casuarina glauca 'Cousin It'	Cousin It	26	300mm	1500	2000
Chlorophytum comosum	Spider Plant	15	150mm	600	600
Crassula ovata 'Blue Bird'	Crassula	36	150mm	1000	1000
Dianella 'Silver Streak'	Mauve Flax Lily	294	150mm	600	600
Dorvanthes excelsa	Gymea Lily	38	15lt	1500	2000
Grevillea 'Bronze Rambler'	Grevillea	17	150mm	1500	300
Grevillea 'Royal Mantle'	Grevillea	114	150mm	2000	1000
Grevillea sericea	Pink Spider Flower	23	150mm	1500	2000
Hardenbergia violacea	Flase Sarsparilla	276	tube	1500	400
Howea forsteriana	Kentia Palm	11	45lt	3000	15000
Howea forsteriana (500mm trunk)	Kentia Palm	6	45lt	3000	15000
Howea forsteriana (1000mm trunk)	Kentia Palm	6	45lt	3000	15000
Howea forsteriana (2000mm trunk)	Kentia Palm	6	45lt	3000	15000
Liriope 'Evergreen Giant'	Giant Lilyturf	2232	tube	500	500
Lomandra 'Lime Tuff'	Dwarf Lomandra	278	tube	600	600
Lomandra 'Tanika'	Dwarf Lomandra	138	tube	600	600
Melaleuca styphelioides	Prickley Leaved Paperbark	2	75lt	4500	10000
Philodendron 'Xanadu'	Dwarf Philodendron	112	150mm	1000	1000
Rhaphiolepis 'Snow Maiden'	Indian Hawthorn	66	150mm	1000	1000
Rhapis excelsa	Purple Leaved Prunus	97	300mm	1500	2000
Senecio serpens	Chalk Sticks	332	150mm	750	300
Strelitzia luncea	Bird of Paradise	111	15lt	1500	2000
Tristaniopsis laurina 'Luscious'	Kanooka, Water Gum	17	75lt	4000	7000
Viola hederaceae	Native Violets	36	tube	500	300
Westringia 'Jervis Gem'	Coastal Rosemary	678	150mm	1000	1000

NOTES: STREET TREES NOT LISTED ON PLANT SCHEDULE

PLANT IMAGES



Angophora hispida



Howea forsteriana



Hardenbergia violacea



Grevillea 'Bronze Rambler'



Lomandra 'Lime Tuff'



Acer buergerianum



Dorvanthes excelsa



Tristaniopsis laurina



Westringia fruticosa



Crassula ovata 'blue bird'



Casurina glauca 'cousin it'



Senecio serpens



Strelitzia juncea



Grevillea 'Royal Mantle'



Dianella 'Silver Streak'



Philodendron 'Xanadu'



Anigozanthos flavidus



Liriope 'Evergreen Giant'



Viola hederacea



Chlorophytum comosum



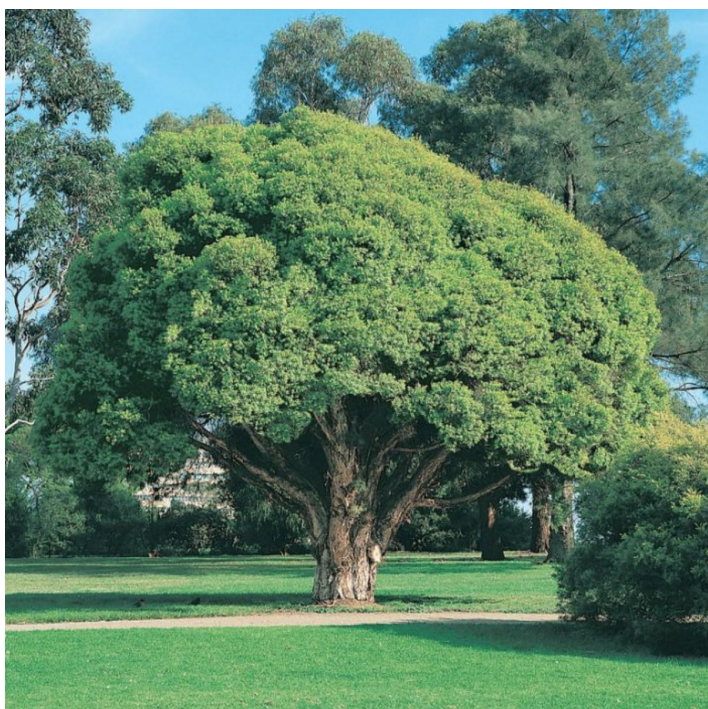
Grevillea sericea



Lomandra longifolia



Rhapis excelsa



Melaleuca styphelioides

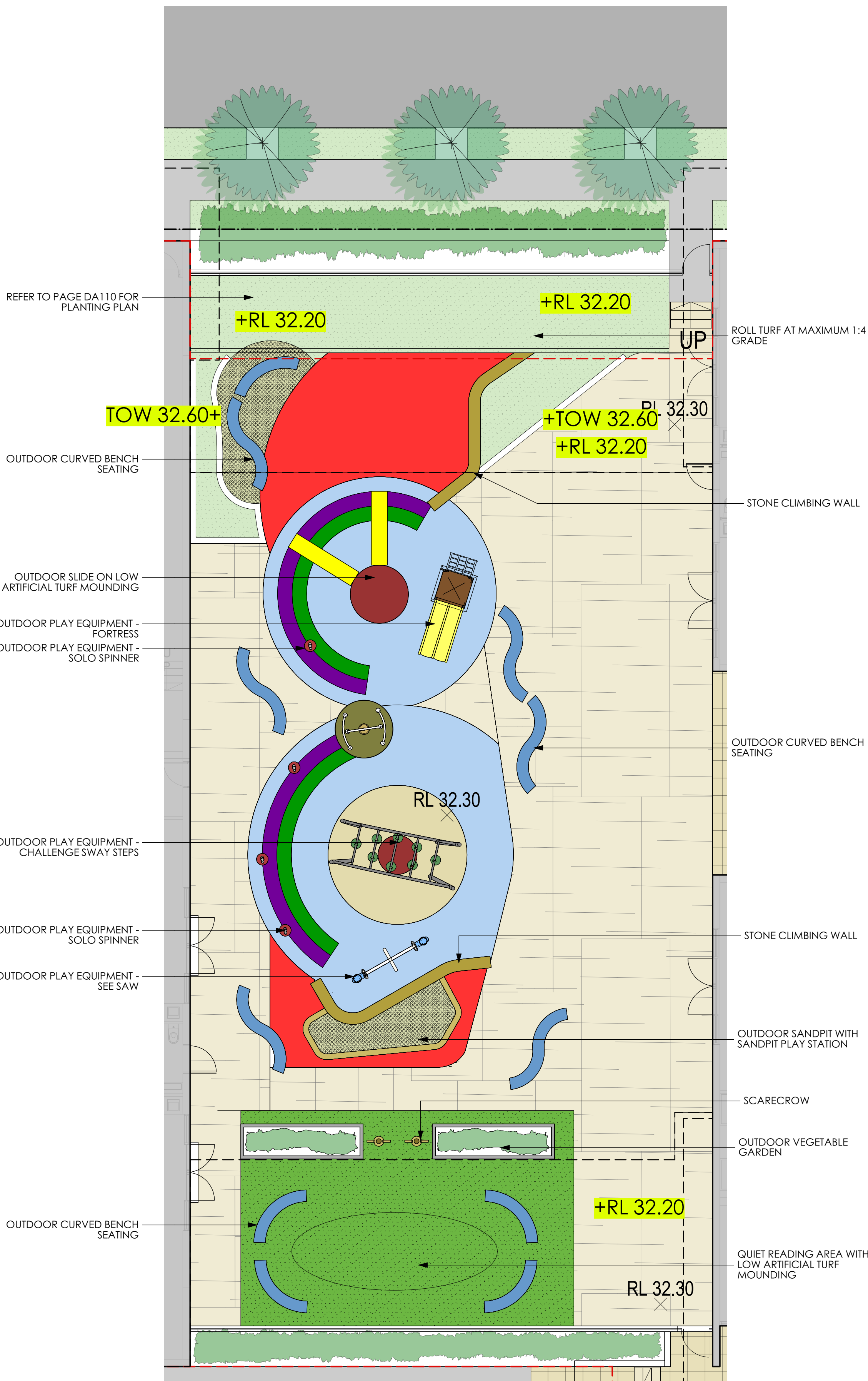


Rhaphiolepis 'Snow Maiden'

AMENDMENTS FOR THE COURT

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				1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.				PLANTING SCHEDULE		A Total Concept Landscape Architects & Swimming Pool Designers		ATX			
				2. Do not scale from drawings.				Address:		65 West Street, North Sydney NSW 2060		SCALE -			
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				5. This plan has been prepared for Development Application purposes only.				Client:		a total concept		L08			
				6. All Building Works shall be installed to Structural Engineers detail				N.Patel - C/O: Architext		landscape architects & swimming pool designers		OF 13			
No.	Date	REVISION		By							Drawn By   GC		Dwg Date:   09.04.18		
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COLOURED RUBBER SOFTFALL



COLOURED RUBBER SOFTFALL



COLOURED RUBBER SOFTFALL



ARTIFICIAL TURF



LOW ARTIFICIAL TURF MOUNDING



OUTDOOR SANDPIT



OUTDOOR VEGETABLE GARDEN AND SCARECROW



OUTDOOR SLIDE ON LOW ARTIFICIAL TURF MOUNDING



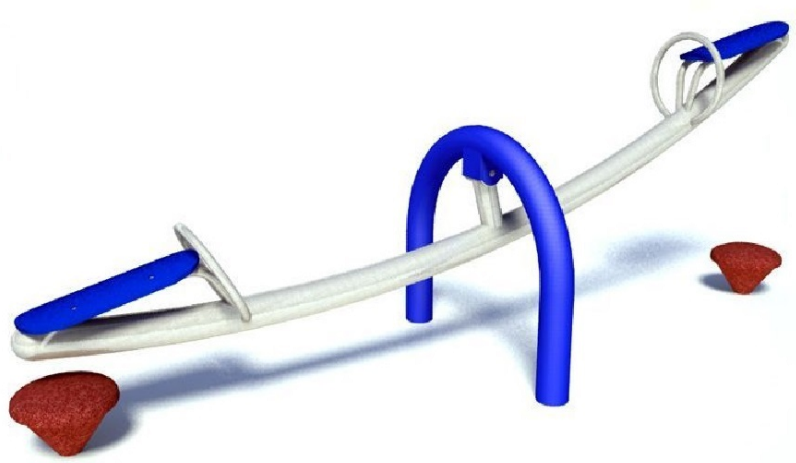
OUTDOOR PLAY EQUIPMENT - CHALLENGE SWAY STEPS



OUTDOOR PLAY EQUIPMENT - SOLO SPINNER



OUTDOOR PLAY EQUIPMENT - 4 PERSON SEAHORSE



OUTDOOR PLAY EQUIPMENT - SEE SAW



OUTDOOR PLAY EQUIPMENT - SEAHORSE



OUTDOOR PLAY EQUIPMENT - METRO 2M ROUNDABOUT



OUTDOOR CURVED BENCH SEATING



OUTDOOR PLAY EQUIPMENT - FORTRESS

## AMENDMENTS FOR THE COURT

No.	Date	REVISION	By
C	29/7/21	Amendments for the Court	OC
B	27/3/20	Amendments to Playground	KR
A	19/3/20	Amendments to suit Architecturals	KR

Legend:	
Rubber Soft Fall	Proposed Planting Area
Rubber Soft Fall	
Rubber Soft Fall	
Rubber Soft Fall	
Rubber Soft Fall	
Artificial Grass	
Quality Unit Paving (Type 2)	
Proposed sandstone climbing wall	

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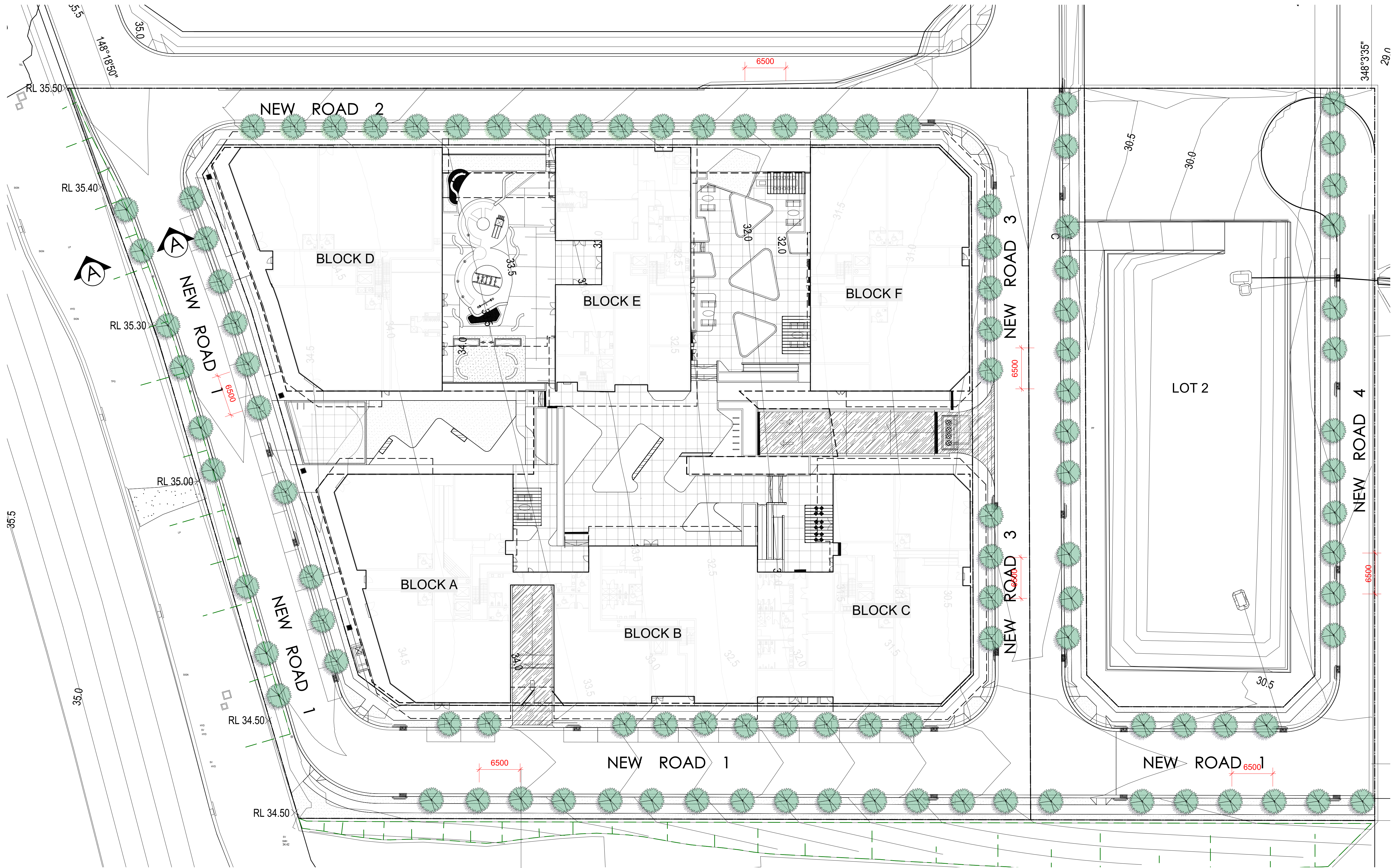
Drawing:	PLAYGROUND
Address:	971 Richmond Rd, Marsden Park
Project:	PROPOSED MIXED USE DEVELOPMENT
Client:	N.Patel - C/O: Architect

A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@totalconcept.com.au www.totalconcept.com.au	
atc a total concept landscape architects & swimming pool designers	

Status	SCALE - 1:100 @ A1
Drawn By	GC
Checked By	JS
CAD File Name	MARSDEN PARK_ver0.vwx
Dwg Date	30.01.18
Plot Date	20.01.18

Project No.	ATX
Drawing No.	L09 C
Rev #	OF 13

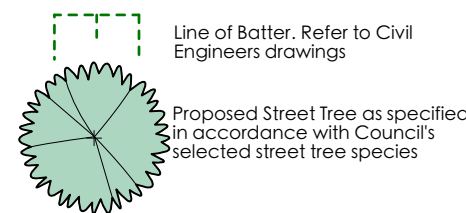




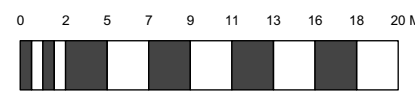
STREET TREE NOTES:

- PROPOSED STREET TREES SHALL BE PROVIDED IN ACCORDANCE WITH STREET TREE SPECIFICATION BY BLACKTOWN COUNCIL
- FINAL LOCATION OF STREET TREES SHALL BE DETERMINED ON SITE. FINAL SET OUT OF STREET TREES SHALL BE IN ACCORDANCE WITH STREET TREE SPECIFICATION BY BLACKTOWN COUNCIL
- ALL STREET TREES SHALL BE INSTALLED TO BLACKTOWN COUNCIL'S STREET TREE SPECIFICATION
- ALL STREET TREES SHALL BE IN ACCORDANCE WITH AS 2303 TREE STOCK FOR LANDSCAPING
- THE LOCATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND SERVICES SHALL BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS AND PROTECTED AND LEFT UNDISTURBED DURING WORKS.

LEGEND:



PROPOSED STREET TREE AS SPECIFIED IN ACCORDANCE WITH COUNCIL SELECTED STREET TREE SPECIES AT NOMINAL 6500mm SPACINGS



AMENDMENTS FOR THE COURT

No.			Date	REVISION	By
Notes:					
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work					
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3. If in doubt contact Landscape Architect.					
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5. This plan has been prepared for Development Application purposes only.					
6. All Building Works shall be installed to Structural Engineers detail					

Legend:	

Drawing:	STREET TREE LAYOUT PLAN
Address:	971 Richmond Rd, Marsden Park
Project:	PROPOSED MIXED USE DEVELOPMENT
Client:	N.Patel - C/O: Architect

A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@atotalconcept.com.au www.atotalconcept.com.au		Status	Project No. ATX	
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Drawn By	GC	Dwg Date:	09.04.18	
Checked By	SW	Plot Date:	09.04.18	
CAD File Name	MARSDEN PARK_ver0.vwx		L10 OF 13	



PROPOSED STREET TREE SPECIES



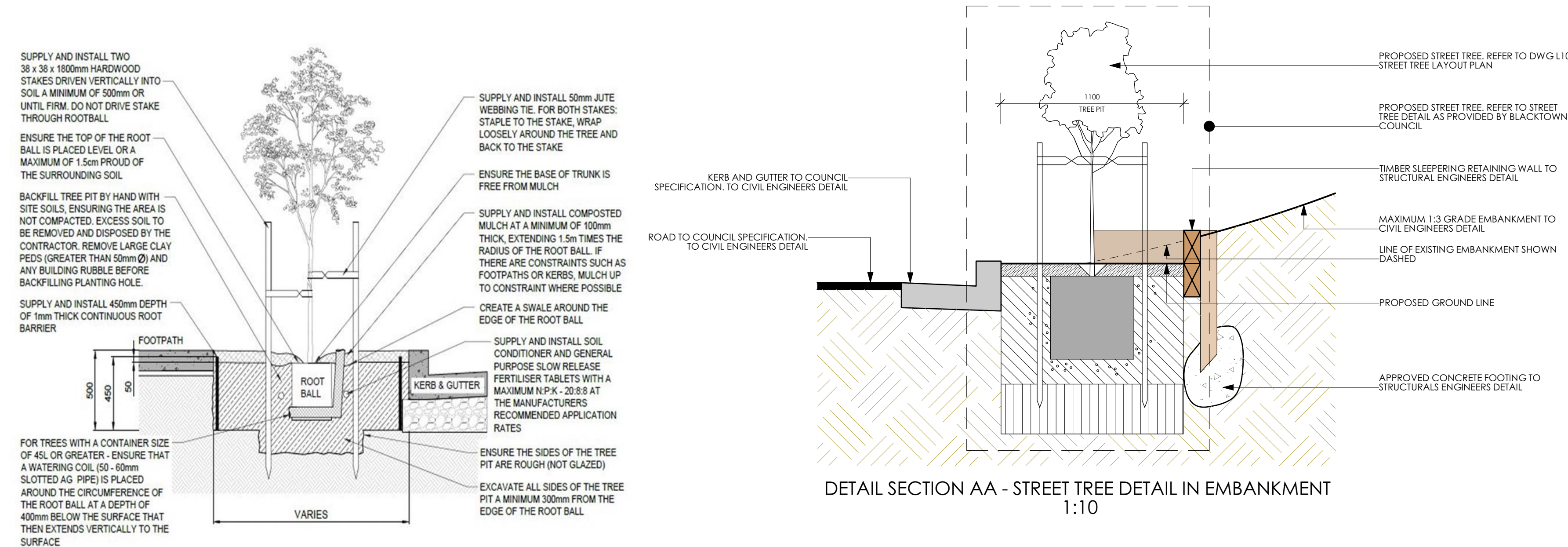
Angophora floribunda



Waterhousea floribunda

X

TYPICAL STREET TREE DETAILS



DETAIL SECTION AA - STREET TREE DETAIL IN EMBANKMENT  
1:10

TYPICAL STREET TREE SPECIFICATION

STREET TREE SPECIFICATION AS PROVIDED BY BLACKTOWN COUNCIL

1 Tree planting specifications

In order to ensure optimal survival and growth rates for newly planted trees, it is important that planting is carried out in accordance with recommended horticultural practices. Guidelines for tree planting are set out below:

- a) Planting Season - Depending on the level of care available, when practicable trees are only to be planted between March and November of each year. However, close consideration should be given to the following points:
- Optimum planting time is spring or early autumn.
  - Bare rooted deciduous species may be planted in winter.
  - Planting closer to summer will require additional watering, thus adding significantly to costs.

- b) Plant Material - Ensure all plants are as per AS 2303:2015 Tree Stock for Landscape Use and have the following attributes: vigorous, true to type, well established, hardened off, of good form, free from disease, have a large healthy root systems and all trees shall have a single leading shoot.

- c) Tree Size - The minimum size of containerized trees should be:
- Native Species Tube stock - Bushland, Parkland and Open Space Large Beds
  - 100 litre - Exotic & Native Species Feature Trees - Parkland and Open Space
  - 100 litre - Commercial, Industrial Areas and Residential Flat Buildings
  - 45 litre - Residential Areas - Footpaths
  - 5 litre - Parks & Reserves - Non-feature Planting

- d) Rooting Barriers - Install root directors to manufacturer's specifications, to planting in all full width concrete/asphalt footpaths and main streets. Root directors are to be installed for all plantings adjacent to a roadside kerb. See Figure 1 for approved tree planting specification diagram.

- e) Soil Conditioner - "Terra-Cottem®" or its equivalent is to be incorporated into the planting medium when planting.

- f) Watering Dish - Create a small depression around the base of all single tree plantings to act as a water reservoir.

- g) Staking - Secure tree loosely to stakes with flexible material, preferably hessian tie or its equivalent, (minimum 25mm wide) wound in 'figure of 8' fashion.
- Residential areas: 2 Hardwood stake 38 x 38 x 1500mm to be installed.
  - Commercial areas: 2 Hardwood stakes 50 x 50 x 2400mm to be installed.
  - Larger species installations should require no staking.
  - Staking is to be removed after 12 months or earlier if the trees have established well enough.

- h) Additional Considerations-When planting trees in hard pavement areas, use mulch such as pine bark nuggets or its equivalent. In commercial and industrial situations, give consideration to the use of tree guards when appropriate. Porous paving is to be used in preference to tree grates which tend to collect litter and require expensive removal and replacement as the tree grows.

- i) Consideration for water sensitive urban design in all areas where kerb gutter and footpath replacement is been conducted. It also should be considered that as part of this renewal program that whole street replacement be undertaken.

Tree placement on non planting trees, consideration should also be given to avoid planting:

- Within 2-3 metres of any street light.
- Within 2-3 metres of any vehicle driveway.
- Within 6m of the approach side of a bus stop.
- Within 3m of the approach side of a road sign or warning sign.
- Directly opposite property water mains and not within 1.5 m of such.
- Directly behind any stormwater pit and not within 1.5m of such.
- Directly on top of stormwater outlet and not within 2m of such.
- Directly under overhead service wires (dependent upon tree species).
- Within 2-3 metres of water hydrants or sewer inspection pit.
- Within 6m of any roadway corner or intersection.
- Within 5m of any pedestrian crossing.
- If possible, not to plant tree directly in front of residence front door.
- Where a surfaced footpath is present, the tree shall be planted mid-way between the back of the kerb and the edge of the footpath.
- Where no surfaced footpath exists, the tree shall be planted behind the back edge of the kerb and gutter approximately 650mm to 700mm.

2 Additional Street planting detail and specifications

To aid in the successful delivery of street trees, provide safe public spaces, protect against assets from damage and provide a healthy environment for the tree, the following design measures and specifications are required to be met:

- No timber or steel edging is permissible
- Install root directors to manufacturer's specifications, to protect assets, structures and/or underground services, to street trees adjoining paths, kerb and gutter or roadways. See Figure 11 for approved root barrier design for newly planted.
- Tree trunk to be a minimum 700mm from street kerb and guttering
- All imported soil to achieve the requirements of AS4419 - Soils For Landscaping All tree planting holes are a minimum 1.5 times diameter and twice the depth of the root ball All mulch is to be free of deleterious material such as rock, soil, weeds and sticks. Acceptable mulch - Forest litter or pine bark mulch
- All soft edges (mulch, turf, grassed) to be finished to appropriate falls and flush with adjacent surface treatment.
- Kikuyu is not accepted as a nature strip turf. The use of Soft leaved Buffalo is the preferred turf for nature strip plantings
- Turf to consist of 25mm depth of dense, well rooted, vigorous grass growth with minimum 50mm on an average 100mm depth of top soil
- Staking is required specified as- drive 2x38x38x1800 mm hardwood stake 600mm into the ground. Secure the stem of the tree firmly with 2 x hessian ties fitted to the stem separately in opposite directions
- Following prescribed maintenance period, Council will inspect all street trees and provide the applicant with a list of defects which will need to be addressed prior to the acceptance of handover
- The developer must provide to Council in writing one (1) month notice, at minimum, for practical completion inspection and two (2) month notice for end of maintenance inspection.
- Performance of planting will be indicated by new growth with visible sign of new leaves; plants to possess a level of 'greenness' characteristic with the particular species; Strong floral habit and colour appropriate to the season and species; Absence of dead or damaged foliage, flowers or branches.

3 Post planting specifications

A Maintenance plan for the street trees is to be provided and must contain the following:

- a) Watering: Regularly water new trees for at least the first 12 months, particularly during warm, dry periods. During extended dry period's consideration may be given to more mature plantings also receiving water. Councils Open Space Maintenance Section will be responsible for the weekly watering of new plantings for the first three months following planting. Then once a fortnight watering should continue until the trees establish. Council will pro-actively seek the cooperation of residents to assist with the watering of newly planted street trees in front of their homes. Council will provide written advice outlining the frequency that these trees should be watered. There should not be any visible signs of wilting of leaves or stems, with all plants to be fully turgid at all times. There should be no visible sign of over watering such as constantly wet soil, brown leaf margins, stem rot or brown spots on foliage.
- b) Weeding: Control weeds around new trees for the first 12 months by hand weeding or herbicide spraying, and by using mulch. Mechanical line trimmers (whipper snippers/brush cutters) not be used within 300mm of out edge of tree trunks. No grass to overgrow edges where it adjoins hard paved surfaces or kerbs and guttering. No grass or weeds within mulched area in or around tree. Chemical weed controls not to be applied in extreme temperatures or wind conditions
- c) Mulching: All garden beds to be re-mulched to maintain a depth of 75mm and level finish with adjacent surfaces. Mulch not to come into contact with the trunks of trees
- d) Fertilising: Apply a follow up application of fertiliser at the rate recommended by the manufacturer 12 months after the tree has been planted and at the time of removal of the tree stakes.
- e) Formative Pruning: Train new tree plantings by pruning lower branches yearly prior to the prime growing period as required, and keep trees to a single trunk where necessary. Sucker growth is to be removed as part of their regular cycle. Formative pruning of trees to allow effective canopy development and to retain natural or desired shape of the tree is recommended. All damaged dead or diseased wood to be pruned to the nearest lateral shoot or active bud with a clean neat cut as per AS4373:2007 Pruning of amenity trees.
- f) Replace: Where possible failed plantings will be replaced with the same species. Stolen trees are to be replaced within one week following notification by council to the developer. Repeated removal of trees within the same location shall immediately be reported to Council.
- g) Stakes: Stakes are to be removed after 12 months or sooner if the tree has established well.

AMENDMENTS FOR THE COURT

		Notes:		Legend:		Drawing:		Status		Project No.	
		1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work				STREET TREE DETAILS				ATX	
		2. Do not scale from drawings.				Address:		SCALE -			
		3. If in doubt contact Landscape Architect.				971 Richmond Rd, Marsden Park		A Total Concept Landscape Architects & Swimming Pool Designers		Drawing No.	
		4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.				Project:		65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@totalconcept.com.au www.atotalconcept.com.au		Rev #	
		5. This plan has been prepared for Development Application purposes only.				PROPOSED MIXED USE DEVELOPMENT		Drawn By   GC Dwg Date:   09.04.18		L11	
		6. All Building Works shall be installed to Structural Engineers detail				Client:		Checked By   SW Plot Date:   09.04.18		OF 13	
						N.Patel - C/O: Architect		CAD File Name   MARS DEN PARK_ver0.vwx			
No.	Date	REVISION		By							

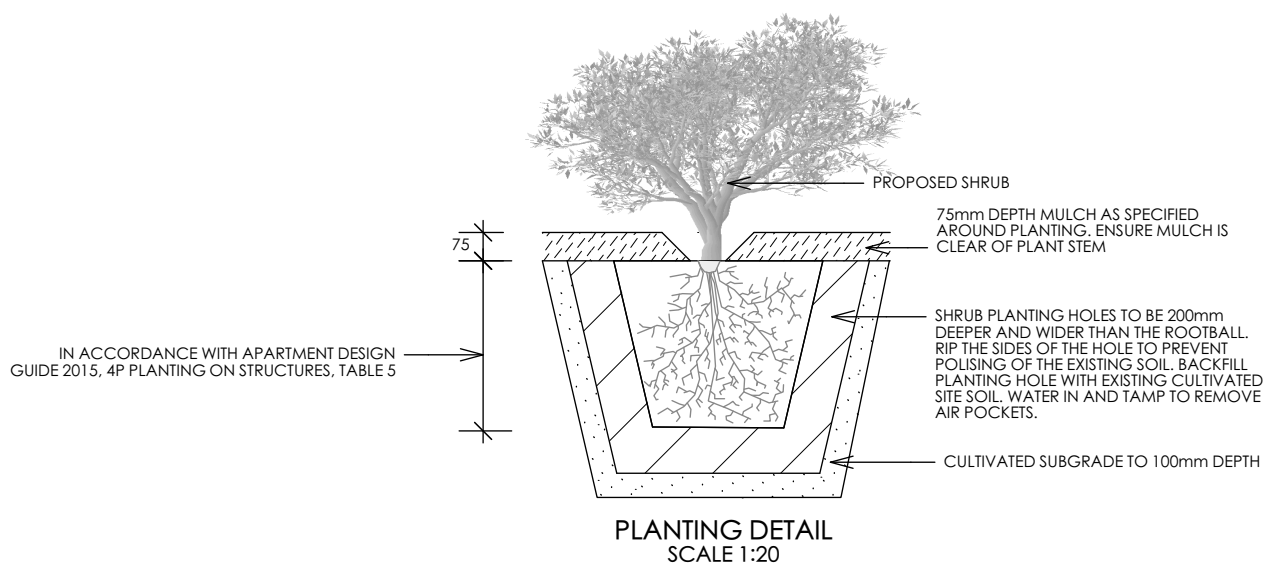
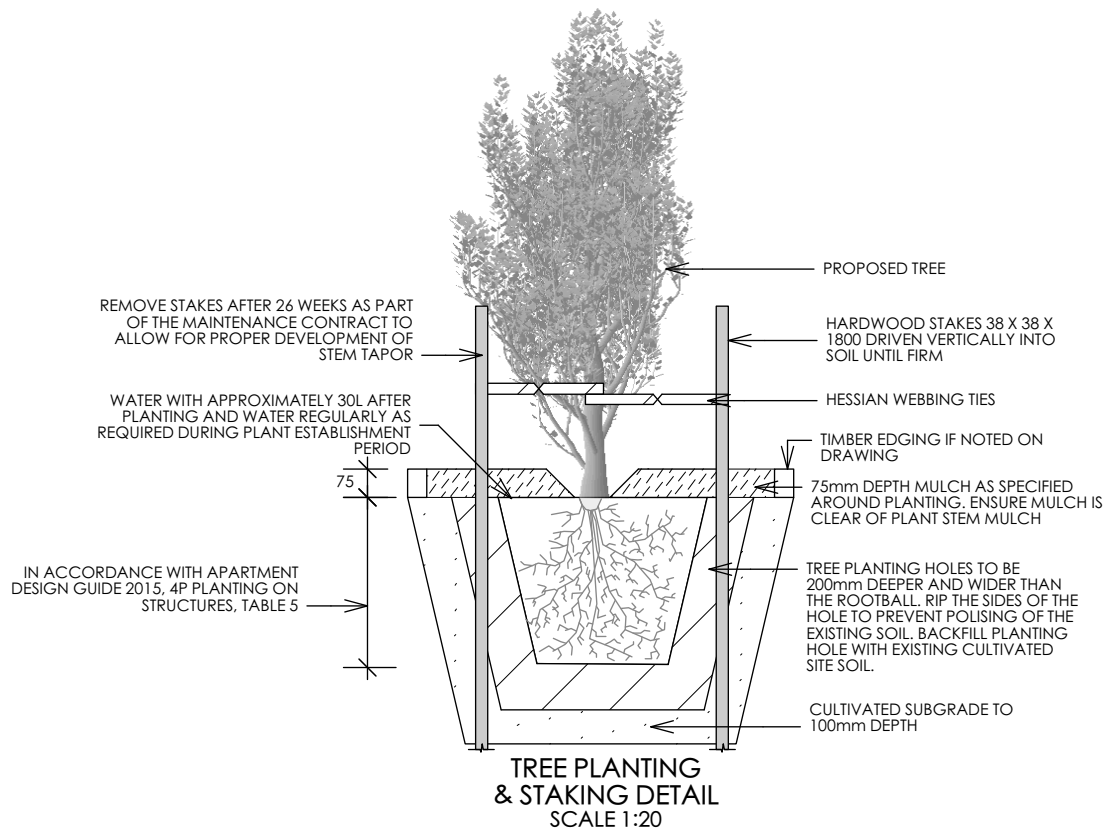
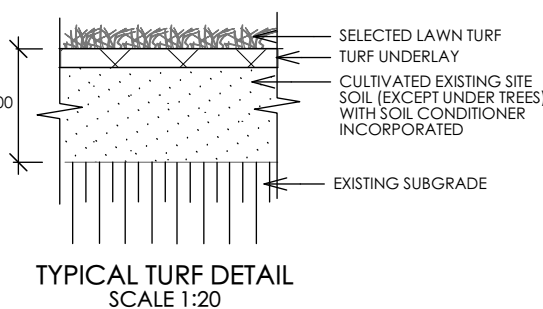
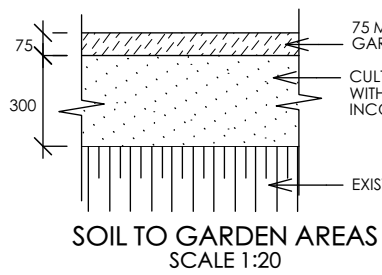
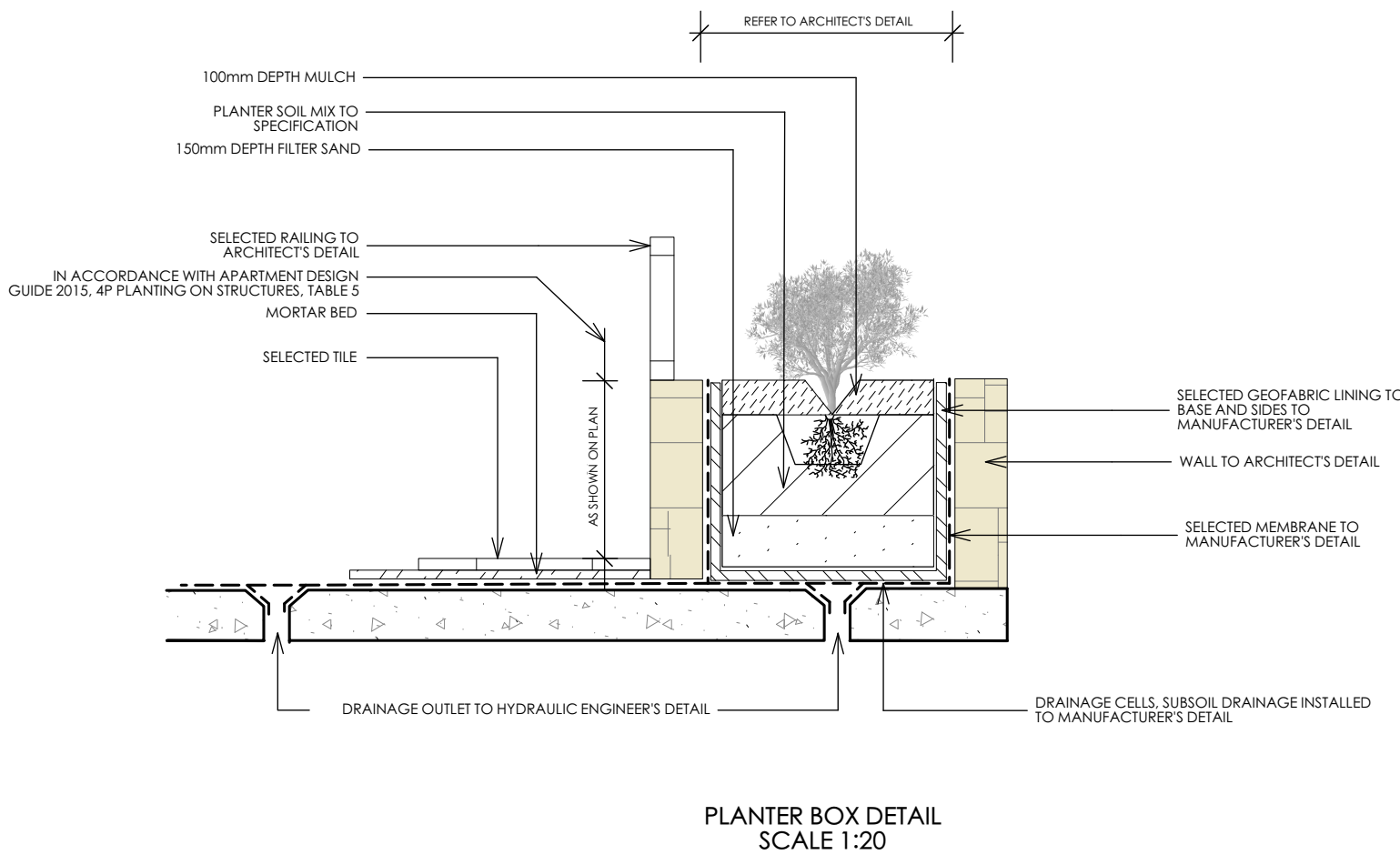
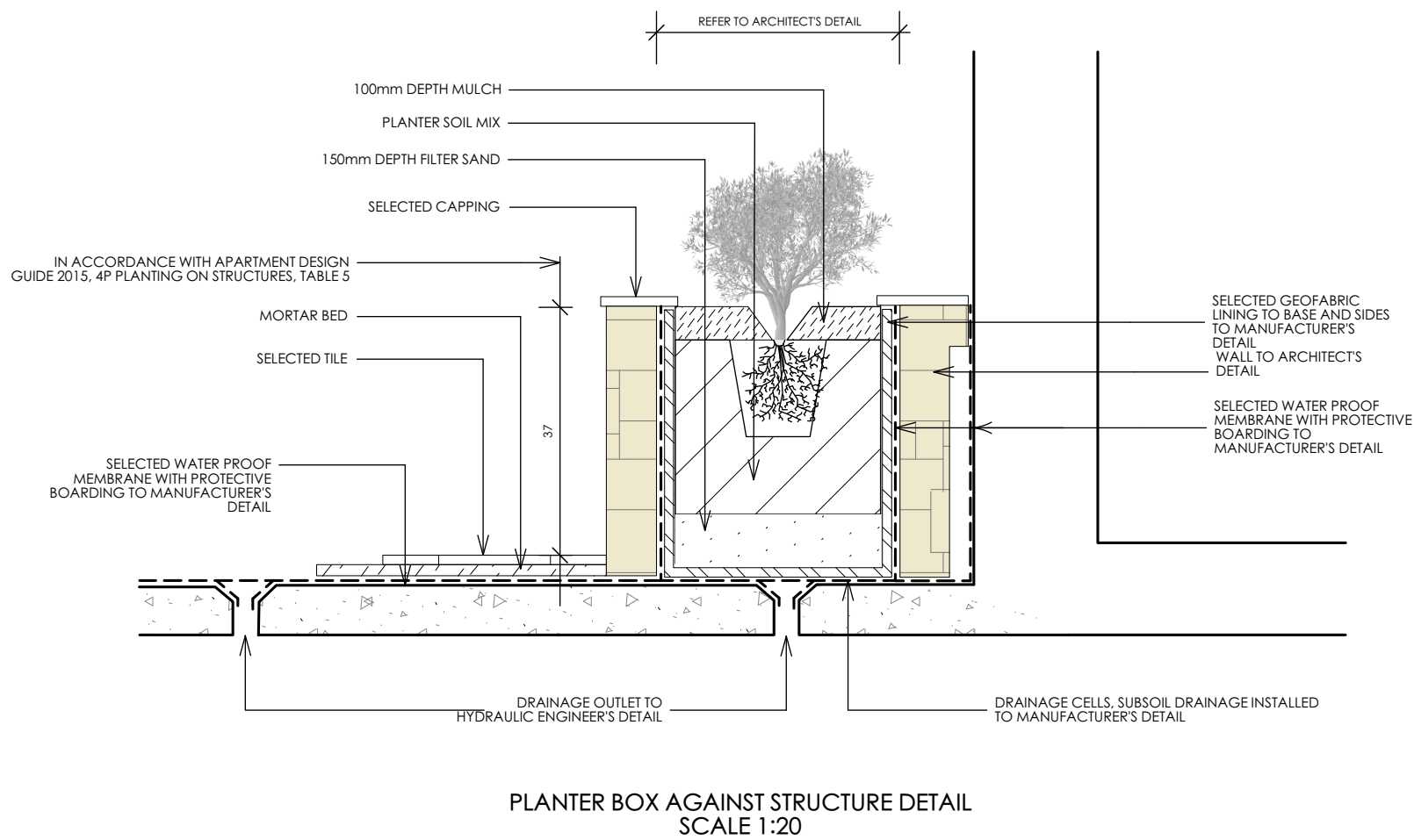


TYPICAL LANDSCAPE DETAILS

MINIMUM SOIL STANDARDS FOR PLANT TYPES AND SIZES

Plant type	Definition	Soil volume	Soil depth	Soil area
Large trees	12-18m high, up to 16m crown spread at maturity	150m³	1,200mm	10m x 10m or equivalent
Medium trees	8-12m high, up to 8m crown spread at maturity	35m³	1,000mm	6m x 6m or equivalent
Small trees	6-8m high, up to 4m crown spread at maturity	9m³	800mm	3.5m x 3.5m or equivalent
Shrubs			500-600mm	
Ground cover			300-450mm	
Turf			200mm	

Note: The above has been calculated assuming fortnightly irrigation. Any sub-surface drainage requirements are in addition to the above minimum soil depths



OUTLINE LANDSCAPE SPECIFICATION

**Preparation by Builder:** Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works. Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

**Initial Preparation:** Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

**Tree Protection:** Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

**Soil Preparation:** Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder and Architect at time of Tender and request instructions.

**Lawn Edging and Stepping Stones:**(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

**Retaining Walls:** Positions, detail and heights of retaining walls shall be by others.

**Planting:** Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

**Staking:** All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

**Mulching:** Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

**Turfing:** Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and return councils nature strip as required.

**Fencing:** Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

**Paving:** Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

**Irrigation:** Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

**Clotheslines:** Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldalene'.

**Completion:** Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

OUTLINE 12 MONTH LANDSCAPE MAINTENANCE PLAN

**Maintenance Period:** A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) **Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) **Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) **Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) **Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) **Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) **Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(g) **Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

(h) **Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(i) **Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

AMENDMENTS FOR THE COURT

				<b>Notes:</b>				<b>Legend:</b>		<b>Drawing:</b>		<b>DETAILS &amp; SPECIFICATION</b>				<b>Status</b>		<b>Project No.</b>	
				1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work										<b>A Total Concept Landscape Architects &amp; Swimming Pool Designers</b> 65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@atotalconcept.com.au www.atotalconcept.com.au		<b>SCALE - AS NOTED</b>		<b>ATX</b>	
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